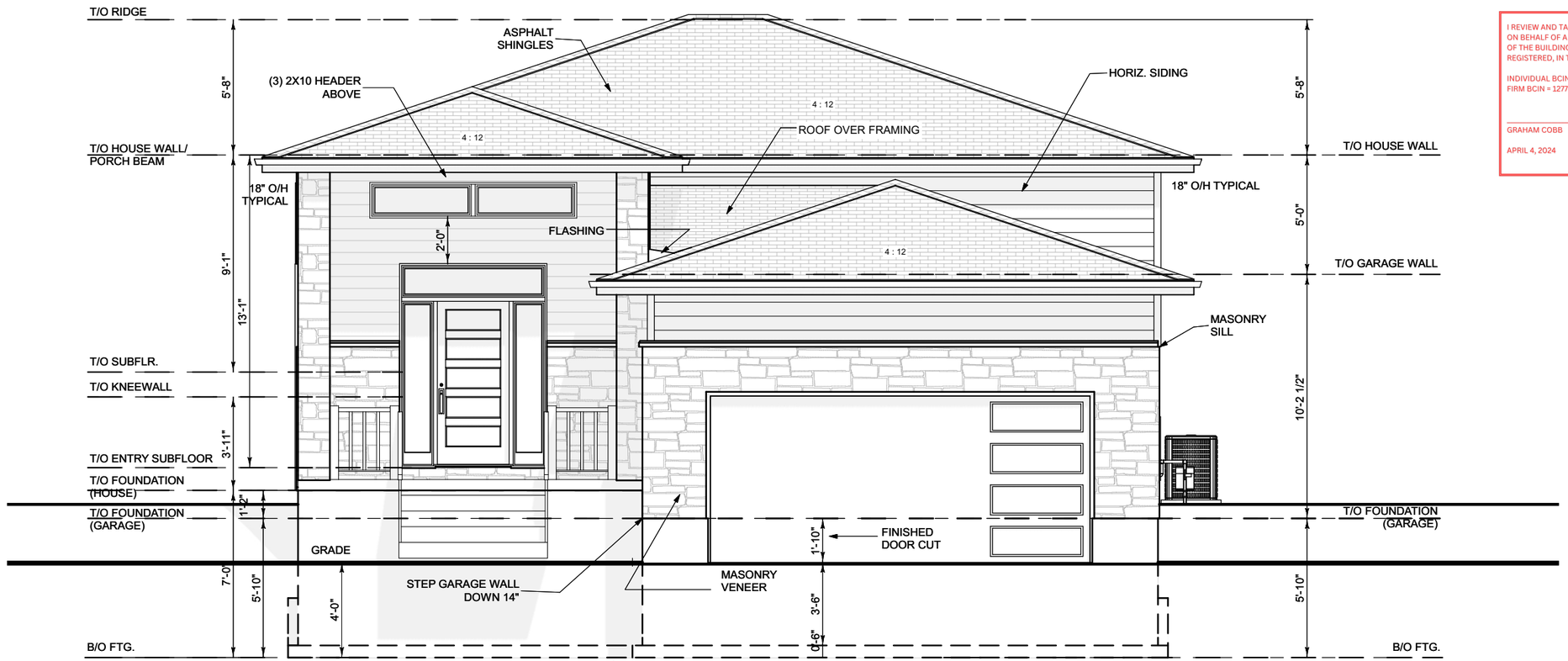
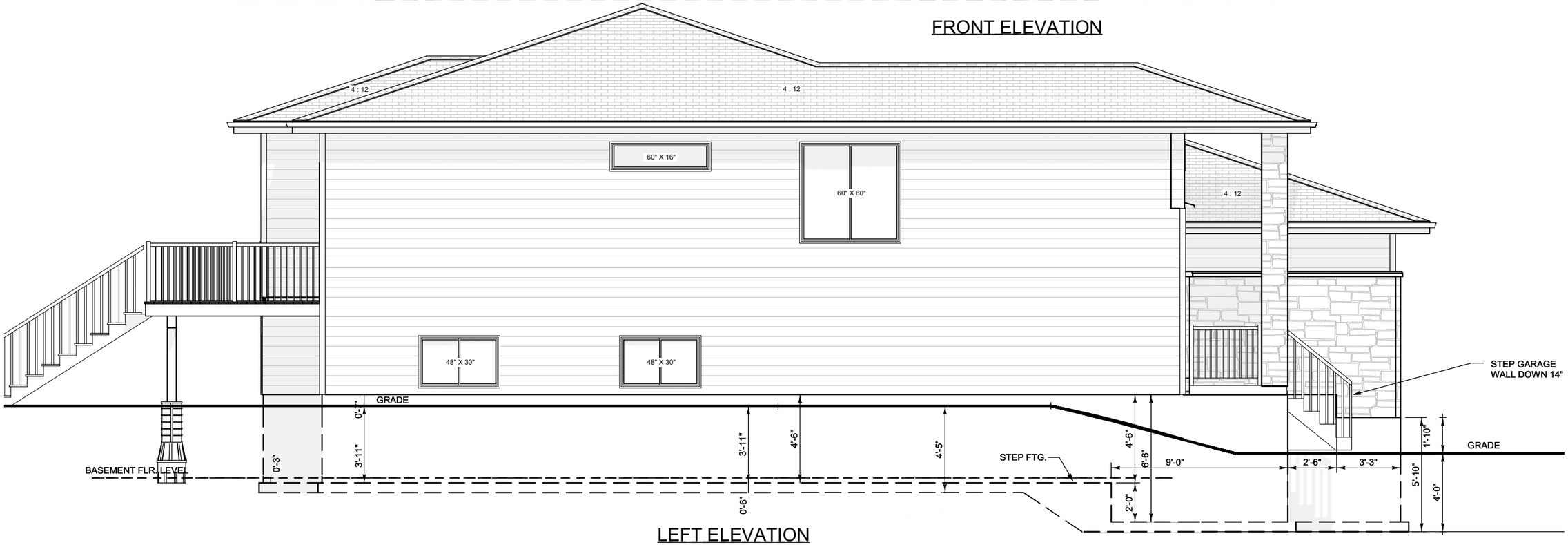


FRONT ELEVATION



LEFT ELEVATION

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

APRIL 4, 2024

A-1

DRAWING TITLE: ELEVATIONS

PROJECT INFORMATION:

MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB

DATE: REVISED JAN. 7, 2025

PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

FRONTIER HOMES QUINTE

REAR ELEVATION

RIGHT ELEVATION

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

APRIL 4, 2024

A-2

DRAWING TITLE: ELEVATIONS

PROJECT INFORMATION:

MAIN FLOOR LIVING AREA =	1395 SQ.FT.
GARAGE =	477 SQ.FT.
TOTAL BUILDING FOOTPRINT =	1946 SQ.FT.
WOOD DECK=	176 SQ.FT.

DRAWN BY: G.COBB

DATE: REVISED JAN. 7, 2025

PROJECT ADDRESS: 27 SCHMIDT WAY
ORCHARD LANE
(LOT 24)

FRONTIER HOMES QUINTE

NOTE:
FLUSH HEADERS OVER BASEMENT WINDOWS

NOTE:
FLOOR JOIST ARE DESIGNED ACCORDING TO CANADIAN WOOD COUNCIL SPAN BOOK TABLES

NOTE:
ALL CONC. FOOTINGS AND PADS TO BE 15 MPA
ALL POURED CONC. WALLS TO BE 20 MPA
BASEMENT FLOOR SLAB TO BE 25 MPA

NOTE:
ANCHOR BOLTS SHALL HAVE A MINIMUM DIAMETER OF 1/2" (12.7MM) SPACED NOT MORE THAN 7'-10 1/2" (2.4M) [OBC 9.23.

NOTE: MAXIMUM BACKFILL HEIGHT NOT TO EXCEED 3'-11"

HEADER SCHEDULE	
L1	(2) 2X10

KNEE WALL CONSTRUCTION
HORIZONTAL SIDING
R-5 CONTINUOS INSULATION
AIR BARRIER
7/16" OSB WALL SHEATHING
2X6 STUDS @ 24" O.C.
R-20 BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL

36'-0"
1'-4"
8'-4 1/2"
8'-4"
1'-4"
3 PLY 2X10 P.T. BEAM
OUTLINE OF DECK
6X6 POST ON 10" CONC. BIG FOOT FTG TUBE
19'-4 1/2"
16'-7 1/2"
8'-3 3/4"
8'-3 3/4"
0'-4 1/2"
60" x 30"
L1
2X10 LEDGER W/ 1/2" DIA. LAGS @ 16" O.C.
2X10 F.J. @ 16" O.C.
2'-0"
12'-3"
2X10 F.J. @ 16" O.C. C/W BRIDGING
Bedroom (FUTURE)
DASHED WALLS = FUTURE DEVELOPMENT
3" CONC. SLAB ON 6" LAYER OF CLEAR STONE
ALL FLOOR JOIST INCLUDING DECK JOISTS TO BE BRIDGED OR BLOCKED AS PER OBC 9.23.4.1
NOTE:
SUBFLOOR TO BE 3/4" T & G SCREWED AND GLUED C/W BRIDGING
UNFINISHED BASEMENT
2X10 F.J. @ 16" O.C. C/W BRIDGING
W250X33 STEEL BEAM
22'-0"
14'-10"
6'-4"
14'-10"
6'-1"
25'-0"
ROUGH-IN ONLY
42" VANITY
Column #2 = 11236.0 lbs.
(2) ADJ. STEEL JACKPOSTS ON 33"X33"X16" CONC. PAD
Column #1 = 11959.1 lbs.
(2) ADJ. STEEL JACKPOSTS ON 36"X36"X18" CONC. PAD
7'-6 1/2"
5'-6"
60"
36"
9'-0"
11'-0"
FINISHED AREA
BONUS (FINISHED)
Laundry (FINISHED)
Utility
FLOOR DRAIN
2X10 F.J. @ 16" O.C. C/W BRIDGING
Bedroom (FUTURE)
LINE OF FLOOR ABOVE
Gas Furnace
HRV
W/H
UP
4'-7"
4'-0"
6'-0 1/2"
2X4 BEARING WALL ON 12" X 6" CONC. STRIP FTG. (STUDS @ 16" O.C.)
DOUBLE JOIST AROUND STAIR OPENING
DOUBLE JOIST
FRONT ENTRY LANDING
14'-7 1/2"
21'-4 1/2"
0'-5 1/2"
2X10 F.J. @ 16" O.C.
SUMP
4" WEEPING TILE C/W SOCK TO BE INSTALLED AROUND PERIMETER OF HOUSE FTGS.
BACKFILLED W/ COMPACTED GRANULAR FILL
NOTE:
TYPICAL FOUNDATION WALLS TO BE 8" ON 18X 6 CONC. FTG. UNLESS NOTED OTHERWISE
BACKFILLED W/ COMPACTED GRANULAR FILL
HATCHED WALL 14" LOWER TOP OF WALL HEIGHT
CUT DOOR OPENING TO SUITE GRADE
44'-3"
27'-0"
10'-9"
9'-0"
7'-8"
3'-0"
7'-0"
10'-3"
5'-0"
5'-9"
3'-3"
48" x 30"
10'-7"
10'-10"
10'-8"
5'-11"
5'-7"
22'-4"
58'-0"
30'-1"

Basement Floor Plan
Basement Fin. Area = 136 sq. ft.

10'-10 1/2"
10'-8 1/2"
14'-5"
21'-7"
36'-0"

SCALE = 3/16 in = 1 ft

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES
INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704
GRAHAM COBB
APRIL 4, 2024

FRONTIER HOMES QUINTE

DRAWN BY:	G.COBB
DATE:	REVISED JAN. 7, 2025
PROJECT ADDRESS:	27 SCHMIDT WAY ORCHARD LANE (LOT 24)

PROJECT INFORMATION:

MAIN FLOOR LIVING AREA =	1395 SQ.FT.
GARAGE =	477 SQ.FT.
TOTAL BUILDING FOOTPRINT =	1946 SQ.FT.
WOOD DECK=	176 SQ.FT.

DRAWING TITLE: FOUNDATION PLAN

A-3

NOTE:
DIMENSIONS ARE TO FACE OF FOAM

NOTE:
CONFIRM ALL DOOR AND WINDOW RSO SIZES PRIOR TO CONSTRUCTION

NOTE:
ALL HEADERS TO BE 2-PLY 2X10 UNLESS OTHERWISE NOTED

INTERIOR PARTITIONS FRAMED @ 24" O.C. (TYPICAL)
CLOSET WALLS AND KITCHEN WALLS FRAMED AT 16" O.C.

NOTE:
ALL CONC. FOOTINGS AND PADS TO BE 15 MPA
ALL POURED CONC. WALLS TO BE 20 MPA
BASEMENT FLOOR SLAB TO BE 25 MPA

NOTE:
ALL MASONRY LINTELS TO BE 3.5"X3.5"X3/8" UNLESS OTHERWISE NOTED

WOOD POSTS TO HAVE MECHANICAL CONNECTION TO PORCH AND BEAM

HEADER SCHEDULE	
L1	(2) 2X10
L2	(3) 2X10 - DOUBLE JACK
L3	LVL (DESIGN BY OTHERS)

PROVIDE STEPS TO SUITE GRADE

36'-0"
19'-4 1/2"
16'-7 1/2"
6'-1"
8'-6 1/4"
4'-9 1/4"
8'-3 3/4"
8'-3 3/4"

42" HIGH RAILING AS PER SB-7
SEE PAGE 10 FOR DETAILS

19'-9"
9'-0"

TYPICAL WALL CONSTRUCTION (SIDING)
HORIZONTAL SIDING
R-5 CONTINUOS INSULATION
AIR BARRIER
7/16" OSB WALL SHEATHING
2X6 STUDS @ 24" O.C.
R-20 BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL

3'-0"
Deck
72" X 60"
72"X82"
60" X 60"
L1
L2
L3

9'-0"
10'-1"
3'-6"
4'-0"
3'-0"
7'-5 1/2"
ISLAND
Kitchen
Dining
13'-0"
17'-3"
32'-5 1/2"
9'-8 1/2"
55'-0"
5'-6"
60" X 16"
60" X 60"

15'-5 1/2"
Master Bdrm
12'-7 3/4"
6'-11"
60" X 16"
11'-1"
NOTE:
PROVIDE BACKING FOR FUTURE GRAB BARS
6'-3 1/2"
3'-6"
5'-1"
Hall
Closet
5'-8"
32"
30"
36" VAN.
Master Bath
2'-10"
24" X 48"
12'-1"
LINEN
1'-6"
3'-6"
48"
30"
5'-0"
3'-0"
2'-1"
2'-0"
Hall
30"
30"
48"
48" VAN.
Bath
10'-0 3/4"
Bedroom #2
10'-0 3/4"
48" X 60"
5'-7"
5'-1"
10'-1"
58'-0"

ENGINEERED ROOF TRUSSES
18'-6 1/2"
Living

8'-0"
4'-0"
4'-0"
5'-2 1/2"
1/2 WALL
2'-0"
48"
5'-10 1/2"
UP
DN
8'-7 1/2"
Entry
5'-0"
11'-9 1/2"
32"
2'-6"
UP

TRUSS LEDGER SEE A-5 FOR DETAIL

GARAGE/ HOUSE WALL
1/2" drywall
R-5 CONTINUOS INSULATION
AIR BARRIER
2X6 STUDS @ 24" O.C.
R-20 BATT INSULATION
1/2" drywall

ATTIC ACCESS
22.5"X36"

WALL CONSTRUCTION
2X4 STUDS @ 16" O.C.
7/16" OSB SHEATHING
AIR BARRIER
VINYL SIDING

NOTE:
4" CONC. SLAB (32MPA)
W/5-8% AIR ENTRAINMENT
ON COMPACTED GRANULAR
SLOPED TO DOOR

INSULATED DOOR
W/ WEATHER STRIPPING
& SELF CLOSING DEVICE

6 MIL POLY &
1/2" DRYWALL ON CEILING

TALL WALL
2X6 STUS @ 16" O.C.
PROVIDE HORIZ.
BLOCKING @ 48" O.C.

RSO 72" X 101"
6" CONC. SLAB (32MPA)
W/5-8% AIR ENTRAINMENT
3 PLY 2X10 B.U.B.
3 PLY 2X10
PORCH
BEAM
5'-0"
0'-4"
4'-8"
14'-0"
0'-4"
6X6 P.T.
POST
TYPICAL
OF 2
5'-9"
UP
MASONARY
PILLAR
1'-4"
12'-0"
1'-4"
14'-5"

Garage
ENGINEERED ROOF TRUSSES
WALL CONSTRUCTION
2X4 STUDS @ 16" O.C.
7/16" OSB SHEATHING
AIR BARRIER
1" AIR SPACE
MASONRY VENEER.
L3
16' X 8' OVERHEAD DOOR

TYPICAL WALL CONSTRUCTION (MASONRY)
STONE VENEER
1" AIR SPACE
R-5 CONTINUOS INSULATION
AIR BARRIER
7/16" OSB WALL SHEATHING
2X6 STUDS @ 24" O.C.
R-20 BATT INSULATION
6 mil POLY V.B.
1/2" DRYWALL

Main Floor Plan
Main Floor Area = 1395 sq. ft.

10'-9 1/2"
10'-9 1/2"
21'-7"
14'-5"
36'-0"

SCALE = 3/16 in = 1 ft

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES
INDIVIDUAL BCIN = 24803
FIRM BCIN = 12704
GRAHAM COBB
APRIL 4, 2024

FRONTIER HOMES QUINTE

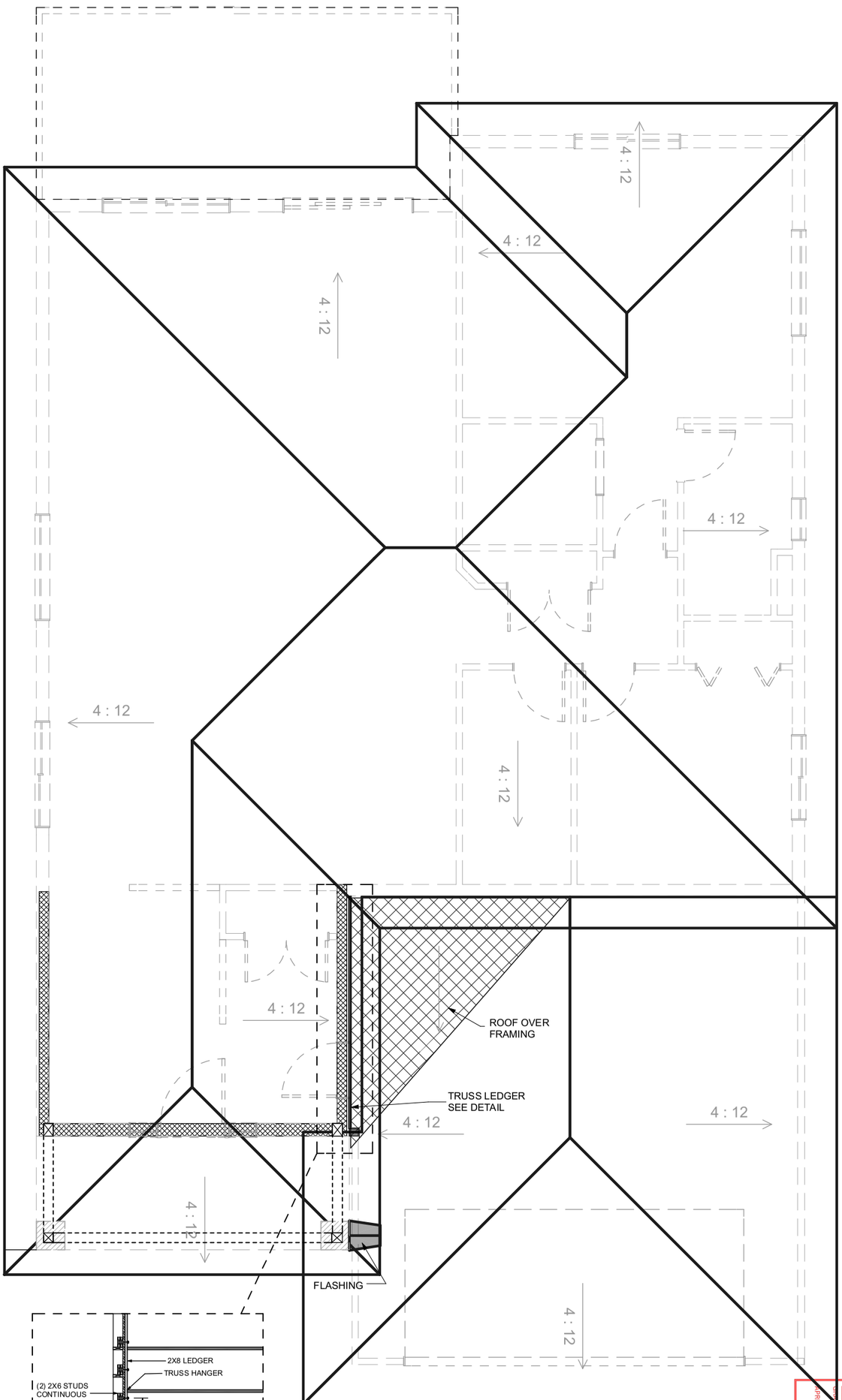
DRAWN BY:	G.COBB
DATE:	REVISED JAN. 7, 2025
PROJECT ADDRESS:	27 SCHMIDT WAY ORCHARD LANE (LOT 24)

PROJECT INFORMATION:

MAIN FLOOR LIVING AREA =	1395 SQ.FT.
GARAGE =	477 SQ.FT.
TOTAL BUILDING FOOTPRINT =	1946 SQ.FT.
WOOD DECK=	176 SQ.FT.

DRAWING TITLE: MAIN FLOOR PLAN

A-4

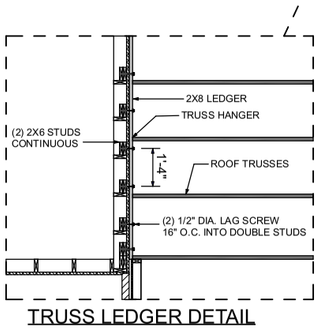


ROOF PLAN NOTES

MIN. HEEL HEIGHT TO MEET OBC REQUIREMENT

ALL ROOF OVERHANGS ARE DRAWN @ 18" FROM WALL SHEATHING UNLESS OTHERWISE NOTED

ROOF VENT CALCULATIONS:
TOTAL AREA =1942 SQ.FT.
CALCULATION FOR TOP VENTING = (1942 /300 *.75)
REQUIRED TOP VENTING = 5 SQ. FT.



TRUSS LEDGER DETAIL

SCALE = 3/16 in = 1 ft

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN - 24803
FIRM BCIN - 32704

G.COBB

APRIL 4, 2024

FRONTIER HOMES QUINTE

DRAWN BY: G.COBB	PROJECT INFORMATION:	DRAWING TITLE:	
DATE: REVISED JAN. 7, 2025	MAIN FLOOR LIVING AREA = 1395 SQ.FT. GARAGE = 477 SQ.FT. TOTAL BUILDING FOOTPRINT = 1946 SQ.FT. WOOD DECK= 176 SQ.FT.	ROOF PLAN	A-5
PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)			

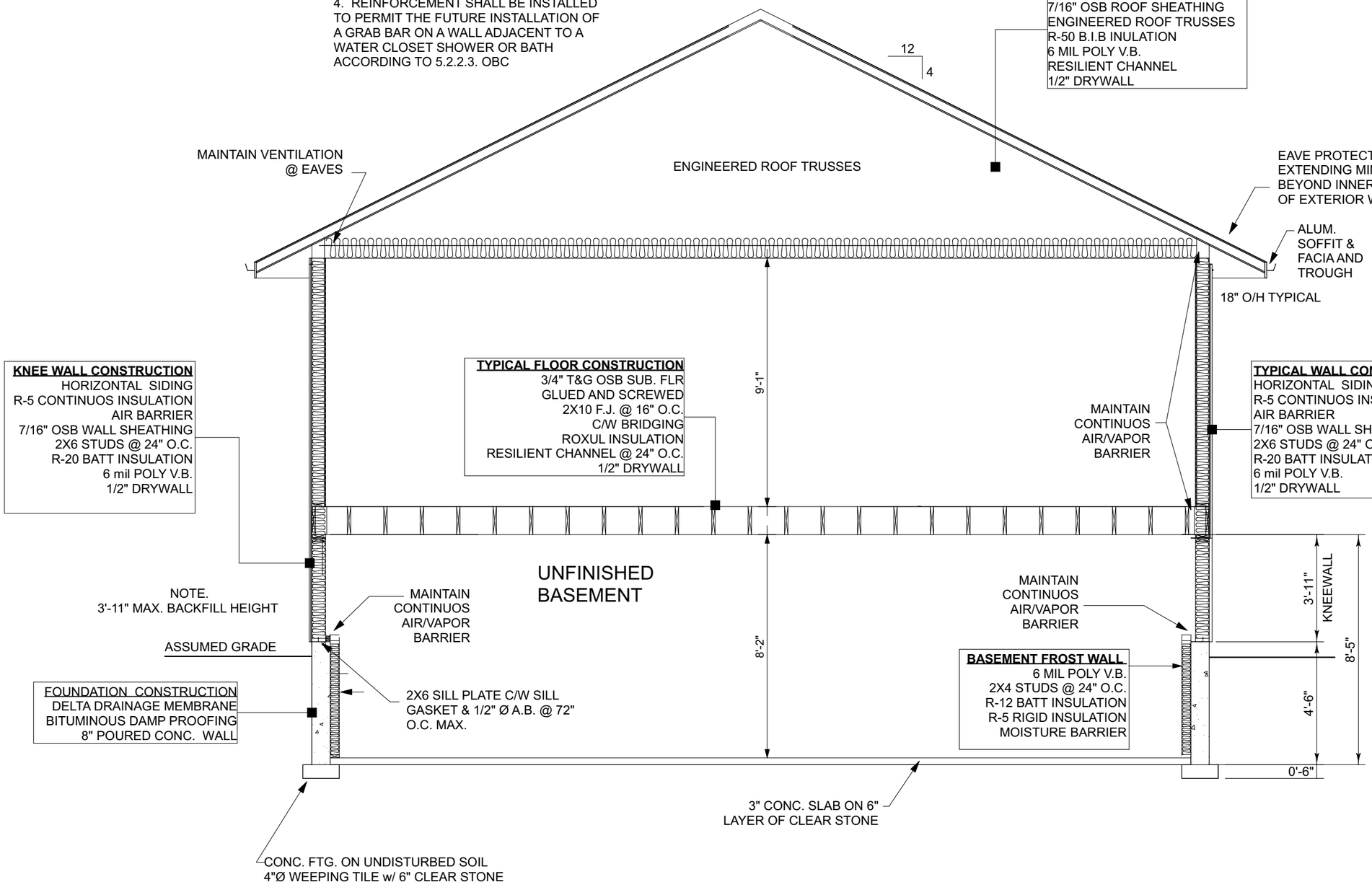
GENERAL NOTES:
1. ALL WINDOW WELLS TO BE DRAINED TO FOOTING LEVEL
2. THE MAXIMUM TEMPERATURE OF HOT WATER EXCLUDING DISHWASHER AND CLOTHES WASHER FOR A RESIDENCE IS 49 DEG.
3. WATER CLOSETS ARE TO HAVE A MAXIMUM 4.8 LITER FLUSH PER CYCLE
4. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO A WATER CLOSET SHOWER OR BATH ACCORDING TO 5.2.2.3. OBC

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

APRIL 4, 2024



TYPICAL BUILDING SECTION

A-6

DRAWING TITLE: CROSS SECTION

PROJECT INFORMATION:
MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB
DATE: REVISED JAN. 7, 2025
PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

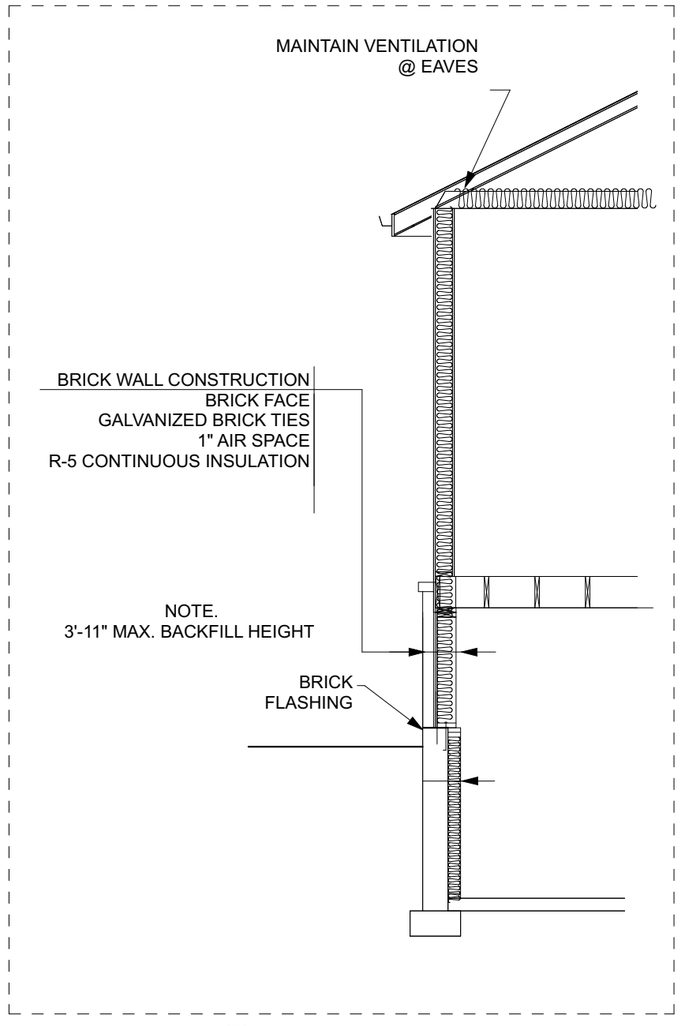
FRONTIER HOMES QUINTE

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

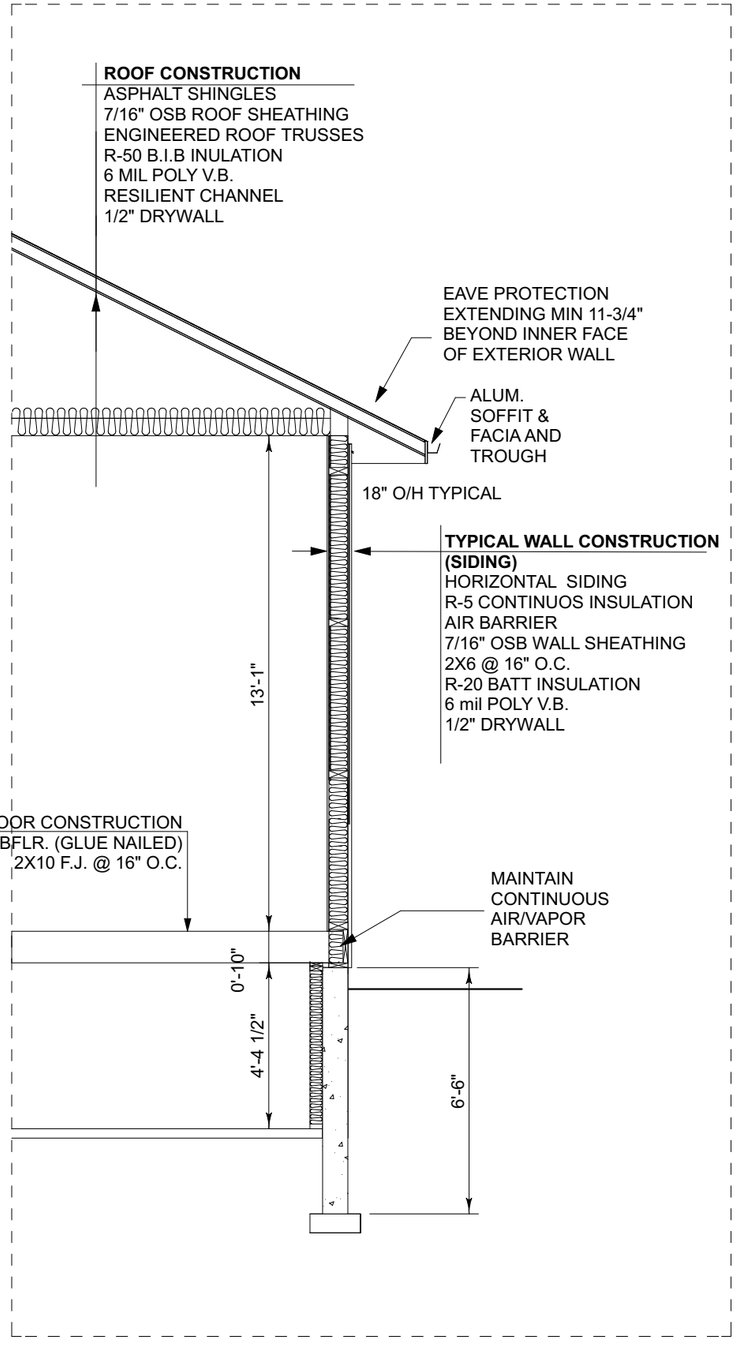
INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

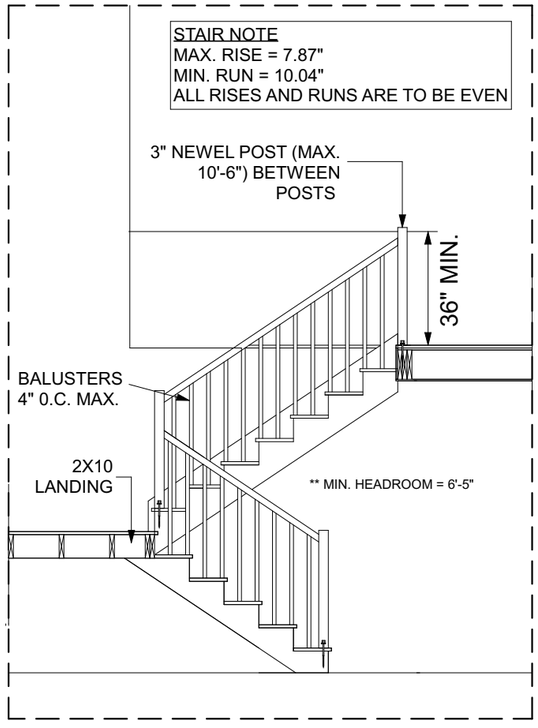
APRIL 4, 2024



D-1 MASONRY VENEER WALL SECTION



D-2 BUILDING SECTION @ ENTRY



D-3 TYPICAL INTERIOR STAIR AND RAILING DETAIL

A-7

DRAWING TITLE: MISC. DETAILS

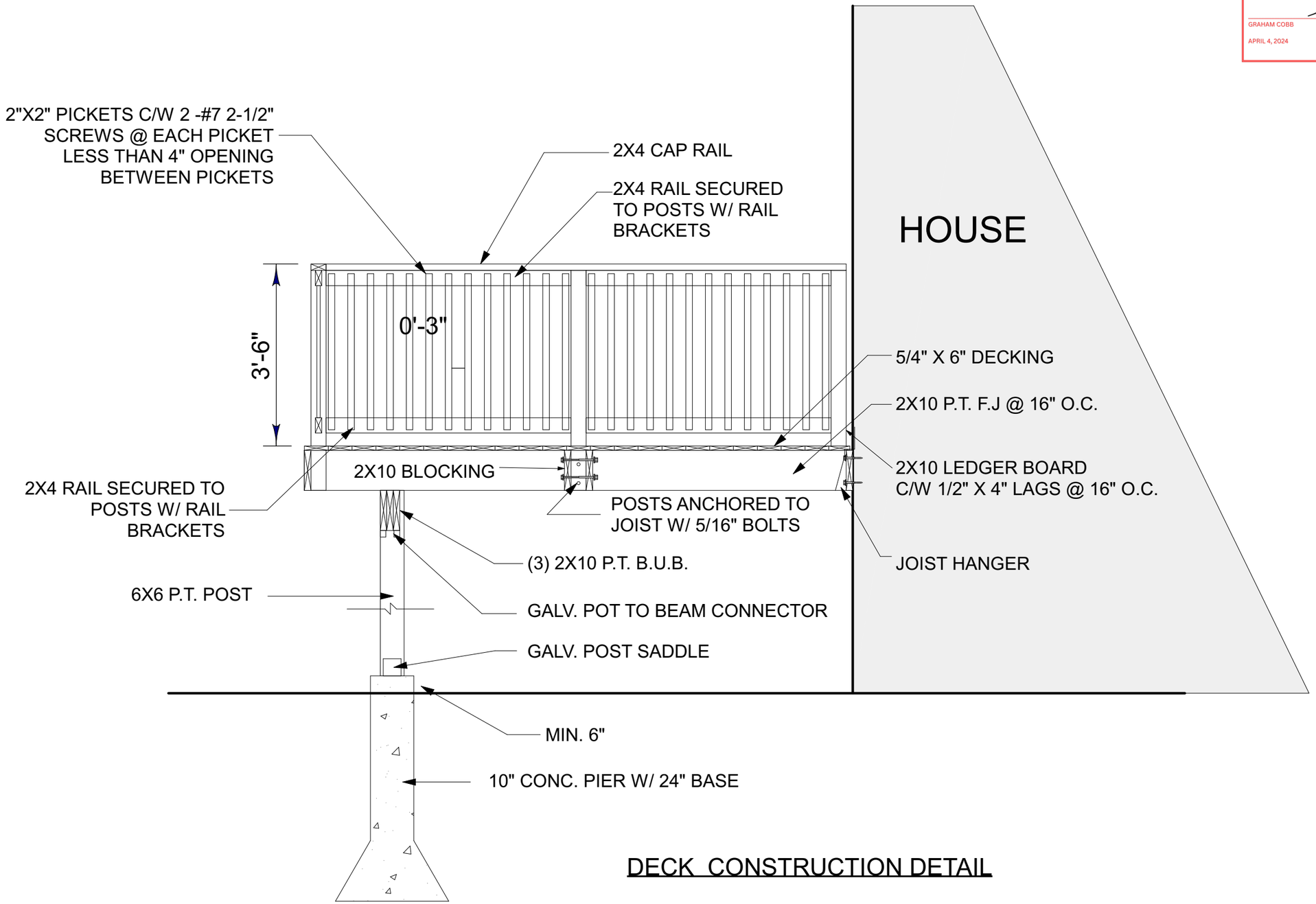
PROJECT INFORMATION:
MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB

DATE: REVISED JAN. 7, 2025

PROJECT ADDRESS: 27 SCHMIDT WAY
ORCHARD LANE
(LOT 24)

FRONTIER HOMES QUINTE



DECK CONSTRUCTION DETAIL

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

APRIL 4, 2024

A-8

DRAWING TITLE: DECK DETAILS

PROJECT INFORMATION:

MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB

DATE: REVISED JAN. 7, 2025

PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

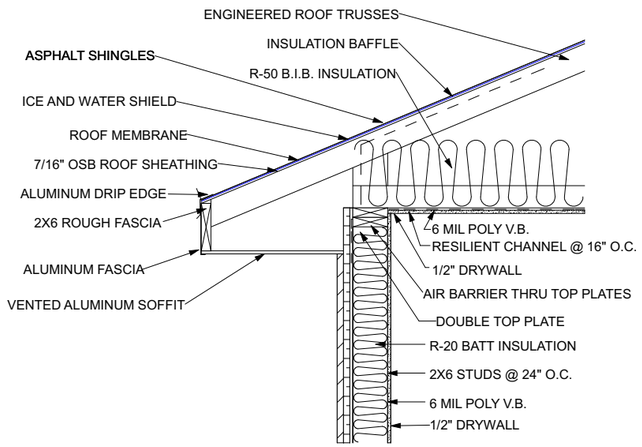
FRONTIER HOMES QUINTE

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

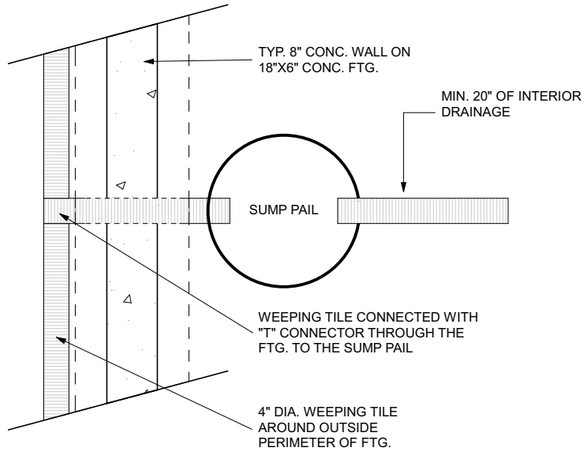
INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

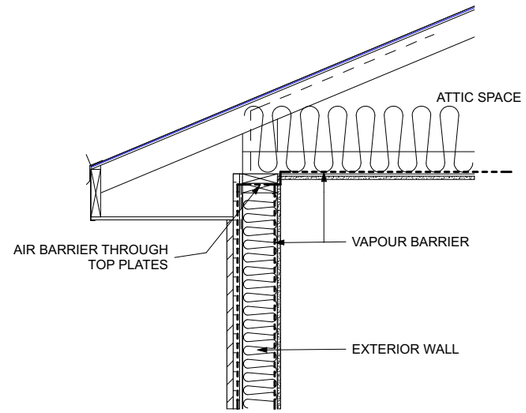
APRIL 4, 2024



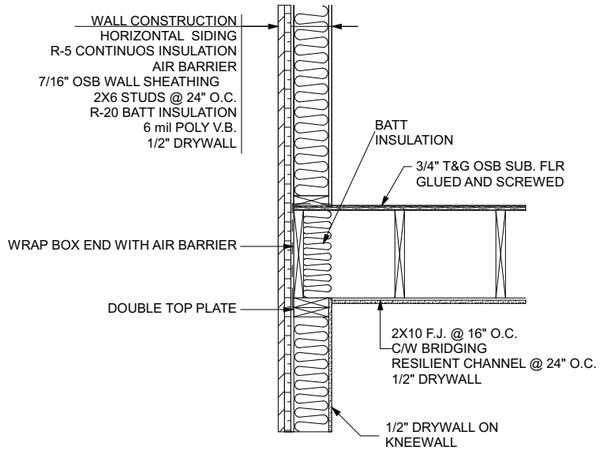
D1 TYPICAL EAVE DETAIL



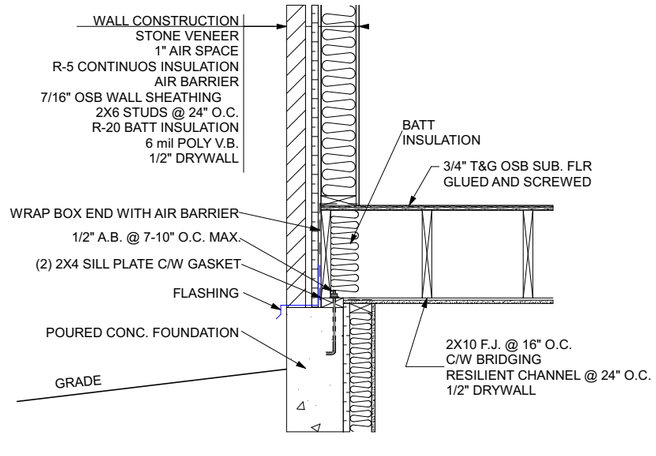
D2 TYPICAL SUMP DETAIL



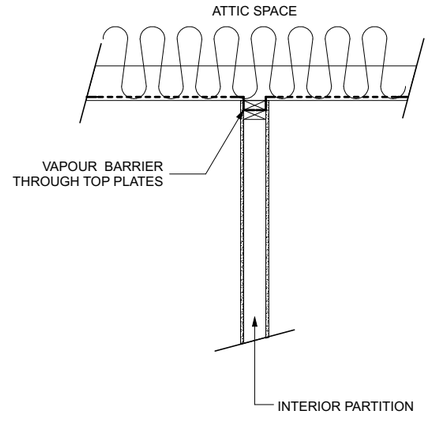
D3 AIR/VAPOUR BARRIER @ WALL/ROOF



D4 TYPICAL FLOOR DETAIL (@ KNEEWALL)



D5 TYPICAL SILL DETAIL (MASONRY WALL)



D6 AIR/VAPOUR BARRIER @ INT. PART.

A-9

DRAWING TITLE: MISC. DETAILS

PROJECT INFORMATION:
MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB
DATE: REVISED JAN. 7, 2025
PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

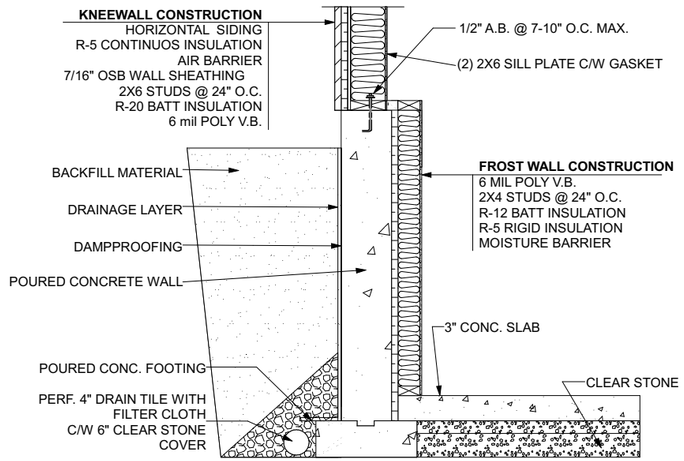
FRONTIER HOMES QUINTE

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

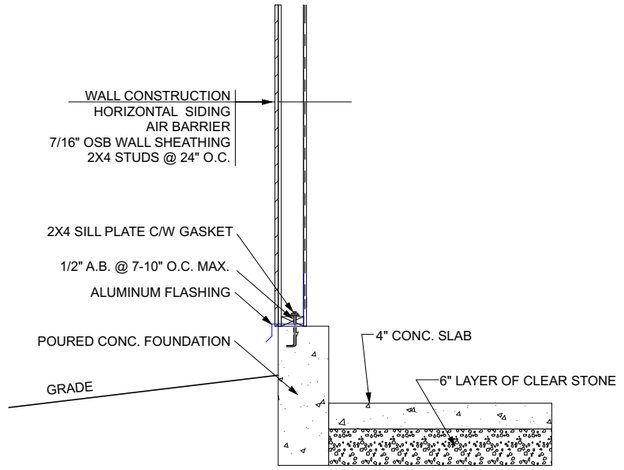
INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

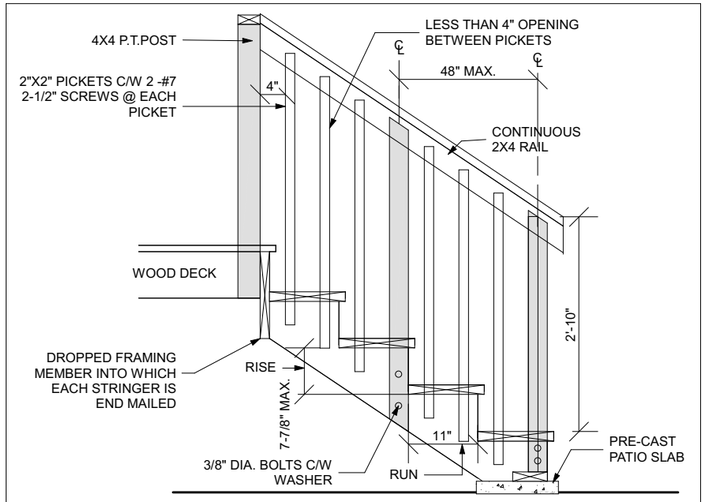
APRIL 4, 2024



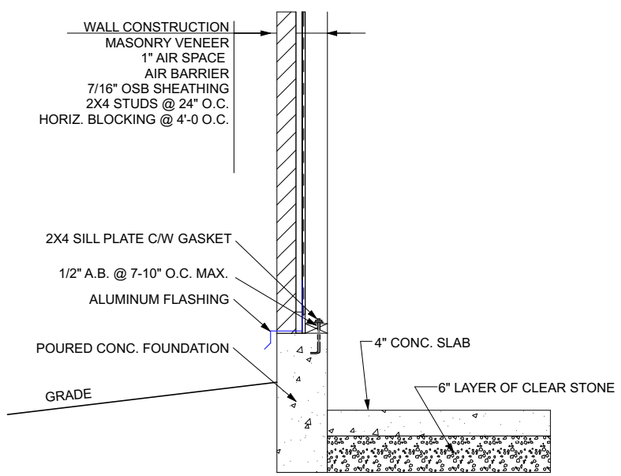
D7 TYPICAL FOOTING DETAIL



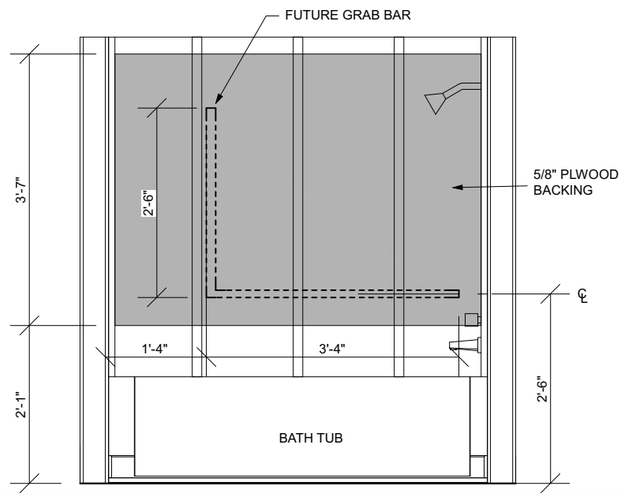
D8 TYPICAL SILL DETAIL (GARAGE WALL _ SIDING)



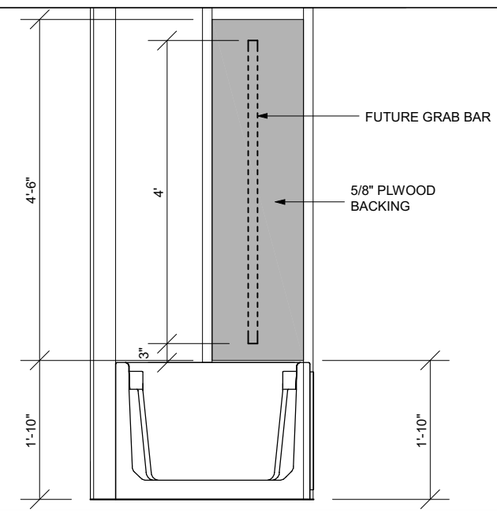
D11 EXTERIOR STAIR DETAIL



D10 TYPICAL SILL DETAIL (GARAGE WALL _ MASONRY)



GB2 FUTURE GRAB BAR BLOCKING @ BATHTUB



GB3 FUTURE GRAB BAR BLOCKING @ BATHTUB

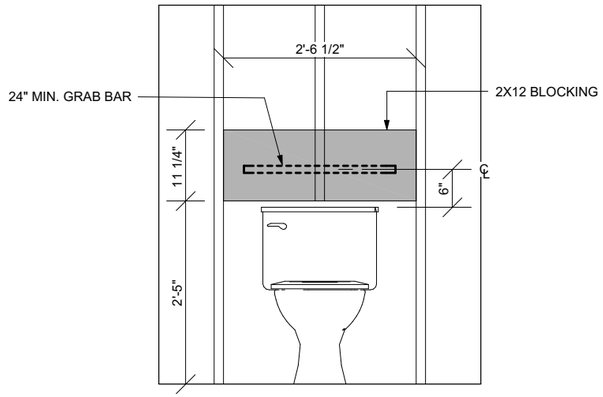
A-10

DRAWING TITLE: MISC. DETAILS

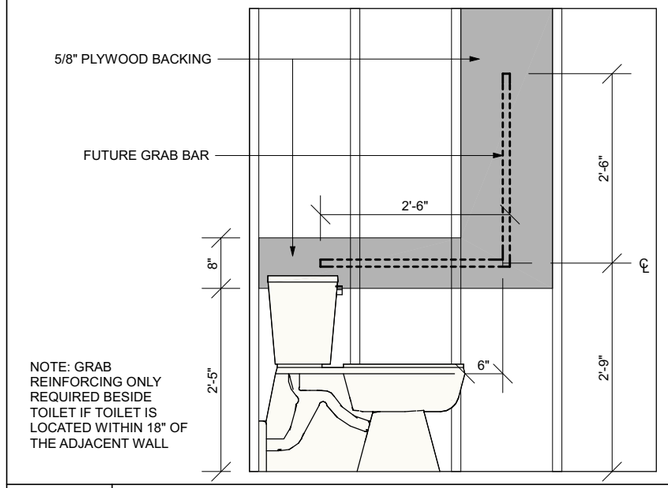
PROJECT INFORMATION:
MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB
DATE: REVISED JAN. 7, 2025
PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

FRONTIER HOMES QUINTE



GB1 — FUTURE GRAB BAR BLOCKING @ TOILET



GB4 — FUTURE GRAB BAR BLOCKING @ TOILET

EXTERIOR GUARD DETAILS		
CONNECTION DETAIL	DETAIL NUMBER	
TOP/BOTTOM RAIL TO POST	EA-5	
POST TO FLOOR	EB-3	
INFILL PICKET	EC-3	

I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN = 24803
FIRM BCIN = 127704

GRAHAM COBB

APRIL 4, 2024

A-11

DRAWING TITLE: MISC. DETAILS

PROJECT INFORMATION:
MAIN FLOOR LIVING AREA = 1395 SQ.FT.
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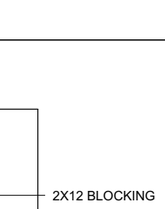
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB
DATE: REVISED JAN. 7, 2025
PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

FRONTIER HOMES QUINTE

PLAN



AXONOMETRIC

FRONT ELEVATION

SIDE ELEVATION

Detail EA-5
Exterior Connection: Top/Bottom Rail Fastened to Post with Framing Anchors

Notes:
1. Provide support to bottom rail at intervals not more than 2.0 m (6'-7").
2. The bottom rail may be bevelled as detailed in Figure 2.1.2.
3. Dimensions shown are in mm unless otherwise specified.

MAXIMUM SPAN OF RAIL BETWEEN POSTS	
Species	Maximum Span, m (ft-in)
Douglas Fir-Larch, Hem-Fir, Spruce-Pine-Fir	2.72 (8'-11")
Northern Species	2.18 (7'-2")
Column 1	2

PLAN

AXONOMETRIC

FRONT ELEVATION

SIDE ELEVATION

Detail EB-3
Exterior Connection: Post Bolted to Floor Joist - 8 mm (5/16") Bolts

Notes:
1. Decking is omitted from the plan view and the axonometric view for clarity.
2. 38 mm (1½") post projection is not required where the maximum spacing between posts does not exceed 1.20 m (3'-11").
3. Joists may be spaced at 610 mm (24") o.c. or 406 mm (16") o.c.
4. Where floor joists are spaced at 610 mm (24") o.c., decking shall have a minimum thickness of 38 mm (1½") and shall be fastened to the floor with 2 - 76 mm (3") nails.
5. Dimensions shown are in mm unless otherwise specified.

MAXIMUM SPACING BETWEEN POSTS	
Species	Maximum Span, m (ft-in)
Douglas Fir-Larch, Hem-Fir, Spruce-Pine-Fir	1.29 (4'-3")
Northern Species	1.20 (3'-11")
Column 1	2

PLAN

AXONOMETRIC

FRONT ELEVATION

SIDE ELEVATION

Detail EC-3
Exterior Connection: Infill Picket Screwed to Rail

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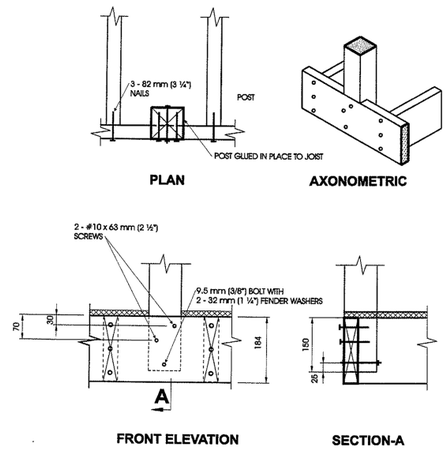
APRIL 4, 2024

INTERIOR GUARD DETAILS		
CONNECTION DETAIL	DETAIL NUMBER	
TOP/BOTTOM RAIL TO POST	IA-1	
POST TO FLOOR	IB-1	
INFILL PICKET	IC-2	

Detail IA-1
Interior Connection: Rail Glued and Screwed to Post

Notes:
1. Other top rail systems may be used provided the section modulus is not less than 24,000 mm³, measured about the x-x axis.
2. Pickets omitted on drawing for clarity.
3. Connection details for fastening of pickets to rails are shown on Details IC-1 and IC-2.
4. Dimensions shown are in mm unless otherwise specified.

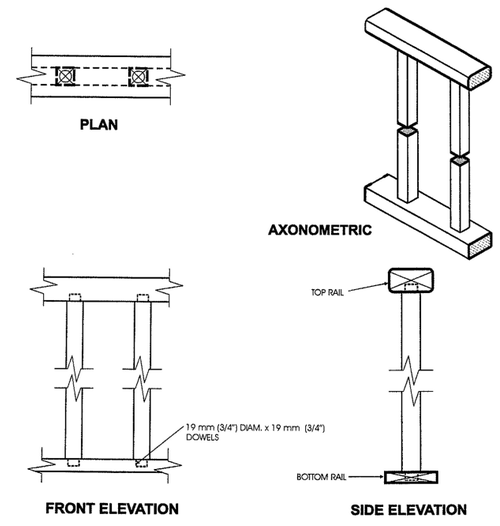
MAXIMUM SPAN OF RAIL BETWEEN POSTS	
Species	Maximum Span, m (ft-in)
Oak, Maple	3.30 (10'-10")
Column 1	2



Detail IB-1
Interior Connection: Notched Post Glued and Bolted to Rim Joist

Notes:
1. Minimum dimension of post is 82 mm x 82 mm (3¼" x 3¼").
2. Notch post 38 mm x 152 mm (1½" x 6") at rim joist.
3. Dimensions shown are in mm unless otherwise specified.

MAXIMUM SPACING BETWEEN POSTS	
Post Species	Maximum Spacing, m (ft-in)
Oak, Maple, Yellow Poplar, Hemlock, White Pine	3.30 (10'-10")
Column 1	2



Detail IC-2
Interior Connection: Infill Picket Dowelled into Rails

Notes:
1. See Table 3.1.2 for minimum sizes of pickets.
2. Pickets dowelled 19 mm (¾") deep into rails with 19 mm (¾") diameter dowels.

A-12

DRAWING TITLE: MISC. DETAILS

PROJECT INFORMATION:
MAIN FLOOR LIVING AREA = 1395 SQ.FT.
GARAGE = 477 SQ.FT.
TOTAL BUILDING FOOTPRINT = 1946 SQ.FT.
WOOD DECK= 176 SQ.FT.

DRAWN BY: G.COBB
DATE: REVISED JAN. 7, 2025
PROJECT ADDRESS: 27 SCHMIDT WAY ORCHARD LANE (LOT 24)

FRONTIER HOMES QUINTE

GENERAL NOTES

1. AT LEAST ONE WINDOW IN A FLOOR AREA CONTAINING BEDROOMS TO BE OPENABLE FROM THE INSIDE WITHOUT TOOLS, HAVE AN OPENABLE AREA OF MIN. 3.77FT2 (0.35M2) AND TO HAVE A MAX. SILL HEIGHT OF 3'3" ABOVE FLOOR LEVEL, TO COMPLY WITH O.B.C. 9.9.10.1
2. ALL INTERIOR DIMENSIONS ARE TO INSIDE FACE OF STUDS (WALL THICKNESS IS NOT DIMENSIONED) AND IN IMPERIAL.
3. ALL INTERIOR WALLS TO BE 2X4 @ 24" O.C. WITH THE EXCEPTION OF WET WALLS & INTERIOR LOAD-BEARING WALLS WITH 1 LAYER ½" G.W.B. BOTH SIDES.
4. WALL, ROOF AND FLOOR ASSEMBLIES AS PER ASSEMBLY NOTES.
5. ALL INTERIOR DOORS AS PER LABELED ON PLANS.
6. INTERCONNECTED SMOKE DETECTORS AS PER O.B.C. 9.10.19 LOCATED IN EACH SLEEPING ROOM & WITHIN 15' OF BEDROOM DOORS.
7. LINTELS OVER OPENINGS IN WOOD FRAME WALLS TO COMPLY TO O.B.C. TABLE A-17.
8. WATER CLOSETS TO BE 4.8 LITER LOW FLUSH.
9. ALL SHOWER VALVES SHALL BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES, CONFORMING TO CAN/CSA-B125.
10. RESISTANCE TO FORCED ENTRY AS PER O.B.C. 9.7.3.1., 9.7.4.
11. CAULK ALL PENETRATIONS SUCH AS HOSE BIBS WITH ACOUSTIC SEALANT.
12. WOOD ROOF TRUSSES INSTALLATION, BRACING, DESIGN AS PER O.B.C. 9.23.13.11.
13. FLOOR FINISHES AS PER CLIENT. CLIENT TO CHOOSE MATERIALS FROM BUILDER'S SAMPLES.
14. AS PER O.B.C. 9.33.4. A CARBON MONOXIDE DETECTOR CONFORMING WITH CAN/CGA-6.19, "RESIDENTIAL CARBON MONOXIDE DETECTORS" OR UL 2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE DETECTORS", SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR.
15. BATHROOM, POWDER RM.,AND MASTER BEDROOM DOORS TO BE LOCKABLE FROM INSIDE ROOM W/EXTERIOR EMERGENCY RELEASE MECHANISM.
16. STEEL LINTELS TO COMPLY TO O.B.C. 9.20.5.2.
17. DOOR TO GARAGE TO BE STL./WD./GLASS INSUL. AND EQUIPPED WITH A SELF CLOSING DEVICE AS TO PROPERLY SEAL THE DOOR TO PREVENT THE ENTRY OF NOXIOUS GASES INTO THE SUITE.
18. ATTACHED GARAGE MUST BE COMPLETELY SEALED TO PREVENT INFILTRATION OF GASES INTO DWELLING.
19. WHERE ATTACHED GARAGE IS ADJACENT TO ATTIC SPACE CARRY GYPSUM BOARD UP TO ROOF SHEATHING AND CAULK WITH ACOUSTIC SEALANT.
20. MULTIPLE STUDS: DOUBLE STUD UNDER DOUBLE JOISTS ETC., TRIPLE STUDS UNDER TRIPLE JOISTS ETC., DOUBLE JOISTS UNDER ALL WALLS OVER 7' LONG, DOUBLE HEADER AROUND ALL STAIR OPENINGS.
21. ALL OVERHANGS AT GABLES AND EAVES TO BE 18" FROM FINISHED FACE.
22. STEEL BEAMS SHALL BE TREATED WITH MIN. 1 COAT RUST INHIBITING PAINT.
23. STEEL LINTELS TO HAVE MIN. 6" BEARING BOTH SIDES AND SHALL BE PRIMED TO PROTECT FROM CORROSION.
24. ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE 2012 EDITION.
25. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION, METHOD OF ERECTION AND INSTALLATION PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF ENGINEERED BEAMS. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF ANY EXISITING STRUCTURE.
26. ALL FRAMING LUMBER SHALL BE CONSTRUCTION GRADE APPROVED SPF #1 OR 2 KILN DRIED.
27. ALL DIMENSIONS PROVIDED IN IMPERIAL.
28. STRUCTURAL WOOD ELEMENTS MUST BE PRESSURE TREATED TO RESIST DECAY IF LESS THAN 6" ABOVE THE GROUND. IN AREAS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE GROUND MUST BE AT LEAST 18" UNLESS TREATED AGAINST TERMITES.
29. PROVIDE TO THE CITY PRIOR TO THE REQUEST FOR INSULATION INSPECTION, MECHANICAL DETAILS INC. HEAT LOSS CALCULATIONS, DUCT SIZE CALCULATIONS AND DUCT LAYOUT DIAGRAM, DUCT SIZES FOR ALL VENTILATION SYSTEMS, CLASSIFICATION OF HEAT TYPE, CLASS OF VENT TYPE, LOCATION OF SUPPLEMENTAL HEATING, OR CONFIRMATION THAT NOT MORE THAN 10% OF THE HEATING WILL BE ELECTRIC.
30. DRAINAGE LAYER IN ACCORDANCE TO 9.14.2.1.(2) SHALL BE INSTALLED WHEN FOUNDATION INSULATION EXTENDS BELOW 36" FROM THE ADJACENT EXTERIOR GRADE UNLESS THE FOUNDATION IS WATER PROOFED.
31. WINDOW WELLS SHALL BE DRAINED TO FOOTING LEVEL.
32. STUD HEIGHTS TO CONFORM TO 9.23.10.1.
33. CONCRETE FOR GARAGE SLABS AND EXTERIOR WORK SHALL BE MIN. 32 MPA W/5-8% AIR ENTRAINMENT.
34. ADJUSTABLE STEEL COLUMNS TO CONFORM TO CAN/CGSB-7.2 AND SHALL NOT SUPPORT LOADS GREATER THAN 8000LBS.
35. BASEMENTS ARE REQUIRED TO HAVE FLOOR DRAINS THAT DRAIN TO A SANITARY SYSTEM WHERE POSSIBLE OR STORM MANAGEMENT SYSTEM 7.1.4.2.
36. REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO A WATER CLOSET, SHOWER, OR BATH.
37. INTERIOR AND EXTERIOR GUARDS INCLUDING ½ WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH SB-7.
38. A CONTINUOUS AIR BARRIER SYSTEM SHALL BE PROVIDED AS PER 9.25.3.1.
39. ATTIC HATCH TO BE PROVIDED IN GARAGE WHERE AREA IS GREATER THAN 10M2, 1000MM IN LENGTH OR WIDTH WITH A CLEARANCE OF 200MM MIN.
40. HANDRAILS TO BE CONTINUOUS AT WINDERS, AND ONLY INTERRUPTED AT LANDINGS AS PER O.B.C. 9.8.7.2.(2).
41. PATIO DOOR IS TO BE RESTRICTED TO NOT OPEN GREATER THAN 4" AS PER O.B.C. 9.8.8.1.(4)(B) WHERE THE HEIGHT OF THE GRADE BELOW THE DOOR IS GREATER THAN 600MM.
42. SUMP PIT TO BE INSTALLED IN ACCORDANCE WITH 9.14.5.2.(2) & 9.25.3.3.(16).
43. AT LEAST ONE WINDOW IN BASEMENT TO CONFORM TO 9.9.10.1. OF THE O.B.C. FOR EGRESS.
44. ALL HEADERS ARE 2-2X10 UNLESS STATED OTHERWISE.
45. SMOKE ALARMS TO HAVE VISUAL SIGNALING COMPONENT AS PER 9.10.19.1.
46. CONCRETE FLOORS TO COMPRESSIVE STRENGTH OF 32 MPa MIN. , WALLS AND FOOTING TO HAVE COMPRESSIVE STRENGTH OF 15 MPa MIN.
47. EXTERIOR FOUNDATION WALLS SHALL EXTEND MIN. 6" ABOVE FINISHED GRADE
48. ROOF VENTING AS PER O.B.C. 9.19.1.2

ENERGY EFFICIENCY DESIGN CALCULATIONS	
DESCRIPTION	AREA
FRONT WALL AREA	596 SQ.FT.
FRONT WALL GLAZING	64 SQ.FT.
RIGHT WALL AREA	751 SQ.FT.
RIGHT WALL GLAZING	49 SQ.FT.
REAR WALL AREA	502 SQ.FT.
REAR WALL GLAZING	110 SQ.FT.
LEFT WALL AREA	778 SQ.FT.
LEFT WALL GLAZING	54 SQ.FT.
TOTAL WALL AREAS	2627 SQ.FT.
TOTAL GLAZING AREAS	277 SQ.FT.
GLAZING TO WALL PERCENTAGE	10.5%

SB-12 COMPLIANCE PACKAGE	A-5	
DESCRIPTION	MIN. VALUES	
CEILING W/ ATTIC SPACE	R-50	
CEILING W/O ATTIC	R-31	
EXPOSED FLOOR	R-35	
WALLS ABOVE GRADE	R19 + R5 C.I.	
BASEMENT WALLS	R-12 + R-5 C.I.	
HEATED SLAB	R-10	
EDGE OF BELOW GRADE SLAB	R-10	
WIDOWS AND GLASS DOORS	.28	
SPACE HEATING EQUIPMENT	94%	
HRV	70%	
WATER HEATER	.80	

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GRAHAM COBB

APRIL 4, 2024

A-13

DRAWING TITLE: GENERAL NOTES

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